

Staff Report City of Loma Linda

From the Department of Community Development

PLANNING COMMISSION MEETING OF MARCH 1, 2006

TO: PLANNING COMMISSION
FROM: DEBORAH WOLDRUFF, AICP, DIRECTOR,
COMMUNITY DEVELOPMENT DEPARTMENT
SUBJECT: CONDITIONAL USE PERMIT (CUP) No. 05-02

SUMMARY

The project is a request to construct a new 4-unit apartment complex on a land-locked parcel located south of and adjacent to an existing 7-unit apartment complex parcel at 25091 Redlands Boulevard (Attachment A).

RECOMMENDATION

The recommendation is that the Planning Commission approve Conditional Use Permit (CUP) No. 05-02 based on the Findings, and subject to the attached Conditions of Approval (Attachment B).

PERTINENT DATA

Applicant:	Al Alverado
General Plan:	Medium Density (5 to 10 units/acre)
Zoning:	Multi-Family Residence (R-3)
Site:	13,102 square foot vacant lot
Topography:	Mostly flat
Vegetation:	Site contains annual grasses
Special Features:	None

BACKGROUND AND EXISTING SETTING

Background

On March 23, 2005, the applicant submitted a request to construct 4-plex multi-family development on a "land-locked" parcel located to the rear of an existing 7-unit multi-family development addressed 25091 Redlands Boulevard.

On June 20, 2005, August 9, 2005, and December 20, 2005, the project was reviewed by the Administrative Review Committee (ARC) and the comments are incorporated into the Conditions of Approval. At the December 20, 2005 meeting, the ARC forwarded the project to the Planning Commission with a recommendation for approval.

Existing Setting

The project site is currently designated on the General Plan map as Medium Density Residential and zoned as Multi-Family Residence (R-3). The Draft General Plan proposed that the subject property be designated as General Commercial. Under the current zoning, the applicant can request a multi-family development. However, in the event that the General Plan Update is adopted, the property will be designated as existing non-conforming.

The proposed project site is "land-locked" where the project by itself does not have a direct public street access. The only access at this time is through the northern property (currently built with seven multi-family residential units) along Redlands Boulevard. Currently, both properties are owned by Mr. Al Alvarado (current applicant for proposed four-plex development).

CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA) STATUS

The proposed project is exempt from the requirements of CEQA pursuant to Section 15303 Class 3 (b) (*New Construction or Conversion of Small Structures*) of the 2005 CEQA Guidelines. This exemption class addresses development of multi-family residential structure totaling no more than four dwelling units. The proposed four-plex multi-family development meets the criteria and will not result in environmental impacts.

ANALYSIS

Project Description

The proposed project is a four-plex multi-family development on approximately 13,100 square foot "land-locked" property located to the rear (south) of existing seven-unit multi-family development. This property is zoned Multi-Family Residence (R-3) which allows a density of 5-10 units per acre. As calculated, the proposed project is allowed to have a total of three units. However, the Loma Linda Municipal Code Section 17.30.380, allows for a density bonus if at least 25 percent of the project is dedicated for

low or moderate income housing as defined in Section 50093 of the California Health and Safety Code. The applicant is working with the City's Redevelopment Agency to meet the requirements for low and moderate income housing and he requests one additional unit for the four-plex multi-family development.

The proposed project site is designated as Medium Density Residential on the current General Plan map. Therefore, the current General Plan is consistent with the existing zoning designation. The Draft General Plan proposes that the subject property be designated as General Commercial. However, in the event that the General Plan Update is adopted, the property will be designated as existing non-conforming.

The property to the north of the proposed project (property to share ingress and egress with the subject site) is located within the East Valley Corridor Specific Plan with a General Commercial designation. This makes the existing seven-plex multi-family development existing non-conforming. Additionally, the existing seven-plex multi-family residential units recently completed their remodel and improvements to the buildings with intent to maintain and utilize as a residential development.

Therefore, the proposed four-plex appears to be the highest and best use of the land at this time. With the approval of the proposal, the applicant will enhance the property by providing more enclosed and visitor designated parking spaces, improve the sidewalk, provide upgraded fencing, and bringing the non-conforming property into more conformance.

Site Analysis:

The property is located approximately 150 feet south of Redlands Boulevard. The property is 90 feet by 145 feet. As described above, this property is "land-locked" and has no public street access. Ingress and egress is proposed at the eastern property line to Redlands Boulevard via northern property's existing 18 foot wide driveway.

The applicant is proposing to develop a two story four-plex multi-family development to the rear of the property. The applicant is designing the property to share the parking for between the two properties (one adjacent to Redlands Boulevard and the subject property). The enclosed garages are being proposed at both east and west sides of the subject property and the guest parking around the existing seven-plex development. The applicant is also providing slump stone perimeter wall (a maximum of six feet) along east, west, and south sides of the property line per City Code.

As per the LLMC Section 17.38.120, the minimum open space requirement for one-bedroom is 600 square feet and 700 square feet for two-bed room units. The project meets and exceeds the minimum open space requirement for multi-family residential development. Additionally, the plan indicates landscape along the rear property line (approximately 20 feet by 90 feet) with Brisbane Box trees and ground cover of approximately 3,170 square feet of landscaped area. Grass and other trees and shrubs

are incorporated throughout the development (e.g., Crape Myrtle, Tobira, and Indian Hawthorn).

A total of 8.5 parking spaces are required for the new 4 unit development. The applicant is proposing 10 enclosed parking spaces within subject site. The additional 11 open parking spaces are located around the existing seven-plex multi-family development. With this development the applicant is providing a total of 21 spaces (10 enclosed and 11 open spaces). The proposed project meets the parking requirements of the Loma Linda Municipal Code Section for the subject site.

Architectural Analysis:

The project consists of one 2-story four-plex building with two 2-bedroom units flanked by two 1-bedroom units. The main entrances of each unit face the pedestrian path that leads to the parking lot. The two bedroom units offer living room, dining room, kitchen and ½ bathroom down stairs and two bedrooms and a full bath upstairs within the 980 square foot floor plan. The patio can be accessed from the dining room adjacent to the kitchen. The one bedroom units offer living room, dining room, and a kitchen down stairs and one bedroom and a full bathroom upstairs within the 890 square foot floor plan. The deck can be accessed from the upstairs bedroom.

The architectural style is a typical construction with combination of hip and gable roof lines with craftsman influenced architectural design. The front elevation incorporates upstairs balconies (sliding door leading out to balcony) to the east and west sides of the building with gable roofed bedrooms to the center of the building. It also incorporates stucco construction and wooden siding at the middle of the building. The sides and rear elevations are identified with stucco exterior with rear elevation showing score lines along the mid-point of the elevation to create a visual break between the upper and lower sections of the building. The applicant is proposing a light blue as the main color of the structure and a dark blue as the trim color. The roofing material will be a black-gray composition shingles to match existing roofing materials in the neighborhood.

The proposed architecture is consistent with the existing and surrounding architectural styles of the neighborhood. The neighborhood does not have a distinct style of architecture rather a mix of 1920s and modern architectural elements. Therefore, the proposed architectural style will not detract from the existing architectural style.

Findings

The following findings must be addressed while considering a conditional use permit. Per Code Section 17.30.210, "The Planning Commission, in approving a conditional use permit, shall find as follows:"

1. *That the use applied for at the location set forth in the application is properly one for which a conditional use permit is authorized by this title.*

The proposed use is a permitted use within the Multi-Family Residential (R-3) zone. Additionally, the property is currently "land-locked" and does not have an access to a public street. Therefore, rather than keep the property as a vacant lot with dilapidating conditions, the residential development would be the highest and best use of the property at this time. The proposed use also meets the Council Goal No. 4 to provide adequate housing for all citizens of all economic segments by providing a low or moderate income unit.

2. *That the said use is necessary or desirable for the development of the community, is in harmony with the various elements and objectives of the general plan, and is not detrimental to existing uses specifically permitted in the zone in which the proposed use is to be located.*

The project is consistent with Goal No. 4 in the existing General Plan, which states that an adequate choice of housing should be available in multiple locations for all citizens of all economic segments. The project is consistent with Goal No. 7 in the existing General Plan, which calls for the upgrade of areas that are substandard, to ensure that they are functional, safe, and aesthetically pleasing. The surrounding area is a mix of residential and commercially zoned land that contains a variety of uses, none of which would appear to conflict with the proposed use. To the east south and west are existing residential developments and vacant lots. To the north is a parking lot for auto dealership and a vacant lot. To the northwest section is a commercial strip mall that incorporates restaurants and small retail stores.

3. *That the site for the intended use is adequate in size and shape to accommodate said use and all of the yards, setbacks, walls, or fences, landscaping and other features required in order to adjust said use to those existing or permitted future uses on land in the neighborhood.*

The subject parcel is adequate in size and shape to accommodate the proposed use. The lot coverage of the new facility is less than 30 percent of project site. The building conforms to required setbacks found in the Multi-Family Residential R-3 zoning designation in the Municipal Code. Therefore, the project site can accommodate the proposed use and the multi-family use will be compatible with the existing land uses along Redlands Boulevard.

4. *That the site or the proposed use related to streets and highways properly designed and improved to carry the type and quantity of traffic generated or to be generated by the proposed use.*

The proposed use has access to Redlands Boulevard through an existing property to the north, which can accommodate the type and quantity of traffic generated by this use. A total of twenty-one parking spaces are proposed to accommodate the proposed four-plex and the existing seven-plex multi-family

development. The proposed use would not conflict with other uses immediately adjacent to the project site.

5. *That the conditions set forth in the permit and shown on the approved site plan are deemed necessary to protect the public health, safety and general welfare.*

The public health, safety and general welfare will be protected with the implementation of the Conditions of Approval for this Conditional Use Permit to insure compatibility with the neighborhood.

Public Comments

The proposed project was noticed for a public hearing on February 16, 2006. As of writing of this Staff Report (February 22, 2006), the City had received no written or oral comments. The comments received from City departments have been addressed through the revisions to the Conditional Use Permit and Conditions of Approval.

CONCLUSION

The request to construct four-plex multi-family development is consistent with the existing zoning and with existing General Plan. The Draft General Plan proposes to designate the site for General Commercial, and if adopted, the residential uses will be rendered legal, non-conforming. Additionally, since this is a "land-locked" parcel with no future opportunity for a public street access, the proposed multi-family development appears to be the highest and best use for the land at this time. The proposed use is in compliance with residential development standards as identified in the City's Municipal Code. Additionally, the proposed development will improve the on-site parking and circulation status. Implementation of the Conditions of Approval will ensure that the project complies with all applicable City standards and requirements.

Respectfully submitted,

H. P. Kang
Senior Planner

ATTACHMENTS

- A. Vicinity Map
- B. Conditions of Approval
- C. Project Plans

Attachment A

Vicinity Map
CUP 05-02

March 1, 2006

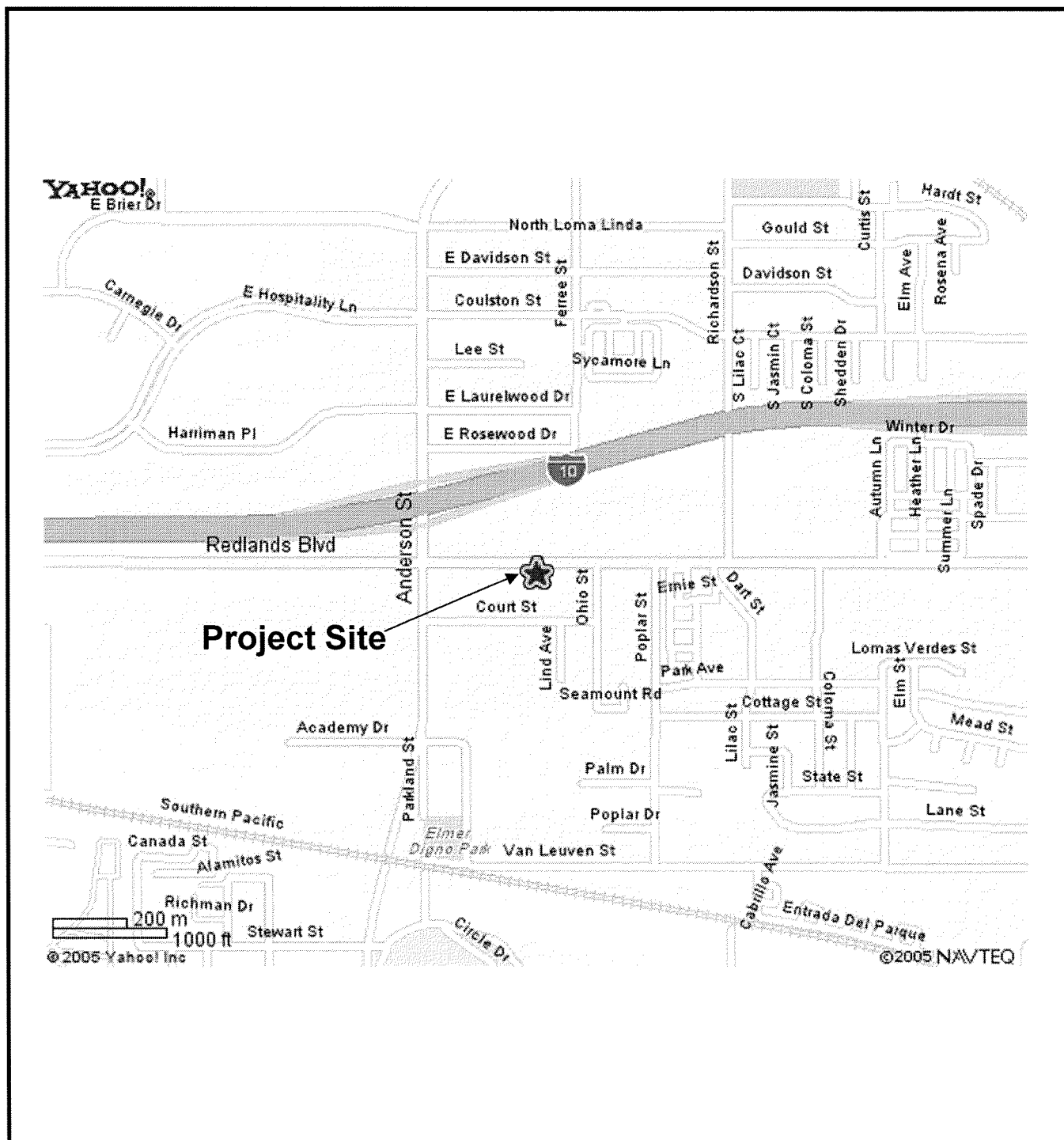


City of Loma Linda

Community Development Department

25541 Barton Road, Loma Linda, CA 92354

(909) 799-2830; Fax (909) 799-2894



Vicinity Map

CUP 05-02

Attachment B

Conditions of Approval
CUP 05-02

March 1, 2006

CONDITIONS OF APPROVAL

CONDITIONAL USE PERMIT (CUP) NO. 05-02

All applicable provisions and requirements of City Codes and Ordinances shall be met for this project. All conditions unless otherwise specifies are due prior to the issuance of building permits. The following specific requirements shall also apply:

1. COMMUNITY DEVELOPMENT DEPARTMENT

- 1.1 Within one year of this approval, the Conditional Use Permit shall be exercised or the permit/approval shall become null and void.

PROJECT:

EXPIRATION DATE:

CONDITIONAL USE PERMIT (CUP) NO. 05-02

March 1, 2007

- 1.2 In the event that this approval is legally challenged, the City will promptly notify the applicant of any claim or action and will cooperate fully in the defense of the matter. Once notified, the applicant agrees to defend, indemnify, and hold harmless the City, its officers, agents and employees from any claim, action or proceeding against the City of Loma Linda. The applicant further agrees to reimburse the City of any costs and attorneys' fees, which the City may be required by a court to pay as a result of such action, but such participation shall not relieve applicant of his or her obligation under this condition.
- 1.3 The project and future development and/or improvements shall conform to the approved set of plans depicting site design, layout and aesthetics of the rental car facility.
- 1.4 No modifications or additions shall be made to the facility that is not in conformity with the original approval without prior review and approval by the Planning Commission.
- 1.5 The applicant/developer shall provide infrastructure for the Loma Linda Connected Community Program, which includes providing a technologically enabled development that includes coaxial, cable and fiber optic lines to all outlets in each unit of the development. Plans for the location of the infrastructure shall be provided with the precise plan of design, which includes providing a technologically enabled development that includes coaxial, cable, and fiber optic lines to all outlets in each unit of the development. Plans for the location of the infrastructure shall be provided with the precise grading plans and reviewed and approved by the City of Loma Linda prior to issuing grading permits.

- 1.6 The trash receptacle location shall be approved by the waste hauler company and written proof of the approval shall be provided to the Community Development Department prior to issuance of building permits.
- 1.7 All plans for building construction shall comply with the latest edition of the California Building Code (CBC).
- 1.8 A water test shall be required to determine if water is aggressive to copper or metal pipe. The Ph and dissolved oxygen contents must be provided in the water test and results submitted to the Building and Safety Division prior to issuance of building permits. If plastic pipe is proposed, approval from the Building and Safety Division shall be required prior to issuance of building permits.
- 1.9 Approval of CUP No. 05-02 is contingent upon the applicant and property owners signing and returning an "Agreement to Conditions Imposed" form as established by the Community Development Department.
- 1.10 The applicant shall process and obtain an approval of a development Agreement with the Redevelopment Agency to provide a minimum of one low-income unit prior to issuance of any permit.

Architectural and Landscape Plans

- 1.11 The applicant shall submit three sets of the final landscape plan prepared by a state licensed Landscape Architect, subject to approval by the Community Development Department, and by the Public Works Department for landscaping in the public right-of-way. Landscape plans for the Landscape Maintenance District shall be on separate plans.
- 1.12 Final landscape and irrigation plans shall be in substantial conformance with the approved conceptual landscape plan and these conditions of approval.
- 1.13 Indicate the location of air conditioner condensers on the project site plan and address the noise level issues according to City of Loma Linda Noise Ordinance. All exterior mechanical equipment shall be screened from view.
- 1.14 All colors and materials shall be reviewed and approved by the Community Development Department prior to issuance of building permits.
- 1.15 The interior project sidewalk shall comply with the City of Loma Linda standards.
- 1.16 The applicant shall note on the final plans that a six-foot-high chain-link fence shall be installed around the site prior to building construction stages. Gated entrances shall be permitted along the perimeter of the site for construction vehicles.

- 1.17 Garage doors shall be installed that are consistent with the architectural style and the top panel shall include panel lights. Review and approval shall be required by the Community Development Department.
- 1.18 Mailbox kiosks shall be enhanced with architectural amenities that would be architecturally compatible with building design. Review and approval shall be required by the Community Development Department.
- 1.19 All shrubs and plants which are planted by the developer shall be a minimum of five gallon in size. All trees planted by the developer shall be a minimum of 24-inch box size.
- 1.20 The applicant shall install a six (6) foot decorative block wall around the perimeter of the project.
- 1.21 Root guards shall be placed around the roots of all trees.

2. PUBLIC WORKS DEPARTMENT

- 2.1 The Construction and Demolition Policy of the City of Loma Linda shall be followed, and copies of recycling manifests with a final report shall be submitted to the City of Loma Linda. The contractor shall use the City's waste hauler during construction for all debris and recycling.
- 2.2 Provide, to the maximum extent practicable, for the recycling and reuse of existing materials. Coordinate with the Public Works Department to obtain a list of recyclable/reusable materials and recycling vendors. Provide a report of materials recycled/reused; report to include type of materials and quantities of materials recycled/reused.
- 2.3 Trash enclosures shall be sized to accommodate a recycle bin. Applicant shall provide evidence of adequate weekly service from the City Waste Hauler.
- 2.4 Submit grading plans to the Public Works Department for review and approval along with the preliminary soils report and hydrology study. Comply with the City of Loma Linda grading standards as shown on the grading plan checklist. The precise grading plan for the project must be approved prior to issuance of any building permits.
- 2.5 Submit final grade certifications, by the grading engineer, to the Public Works Department prior to issuance of any Certificate of Occupancy.
- 2.6 Submit to Public Works Department an erosion control plan to minimize potential increases in erosion and sediment transport during construction and post construction. Place erosion control measures prior to issuance of building permits. An erosion control deposit will be required prior to recordation of final

map or issuance of grading permits which ever occurs first. NPDES regulations apply.

- 2.7 Dust abatement will be made a condition of the grading plans for this project.
- 2.8 Submit original wet signed and stamped compaction reports from the soils engineer to the Public Works Department.
- 2.9 Obtain required permits prior to any construction within the City's right-of-way.
- 2.10 All underground structures, must be broken in, backfilled, and inspected before covering.

Street Improvements

- 2.11 Design and install public improvements including sidewalk in accordance with all requirements of the State of California Accessibility Standards, Title 24 California Administrative Code.

Drainage

- 2.12 Provide engineered plans for all drainage improvements, to the Public Works Department for approval.
- 2.13 An erosion/sediment control plan and a Water Quality Management Plan are required to address on-site drainage construction and operation.
- 2.14 All necessary precautions and preventive measures shall be in place in order to prevent material from being washed away by surface waters or blown by wind. These controls shall include at a minimum: Regular wetting of surface or other similar wind control method, installation of straw or fiber mats to prevent rain related erosion. Detention basin(s) or other appropriately sized barrier to surface flow must be installed at the discharge point(s) of drainage from the site. Any water collected from these controls shall be appropriately disposed of at a disposal site. These measures shall be added as general notes on the site plan and a statement added that the operator is responsible for ensuring that these measures continue to be effective for the duration of the project construction.
- 2.15 Appropriate controls shall be installed to prevent all materials from being tracked off-site by vehicles or other means. These controls may include gravel exits or wash-down areas. Any materials tracked off-site must be removed as soon as possible, but no later than the end of the operation day. This material shall be disposed of at an appropriate disposal site. These measures shall be added as general notes on the site plan and a statement added that the operator is responsible for ensuring that these measures continue to be effective during the duration of the project construction.

- 2.16 Obtain flowage easements where diversion or concentration of runoff from the site or drainage facilities dewater onto private property.
- 2.17 Submit additional improvement plans and profiles to the drainage requirements stated herein, for other "on-site" or "off-site" improvements not determined from tentative plans, to the Public Works Department for review.
- 2.18 Prior to issuance of grading permits, the applicant shall obtain coverage under the NPDES Statewide Industrial Stormwater Permit for General Construction Activities from the State Water Resources Control Board. Evidence that this has been obtained shall be submitted to the City of Loma Linda Public Works Department.

Utilities

- 2.19 Connect to City of Loma Linda sewer system.
- 2.20 Connect to City of Loma Linda water system.
- 2.21 Provide all utility services to each lot, including sanitary sewer, water, electric power, cable, gas, and telephone. All utilities are to be underground.
- 2.22 Water mains shall be sized and installed as shown on approved utility plans for potable and non-potable service to the development. Submit plans for review and approval.
- 2.23 All fire hydrants and their distribution mains shall be made part of the Public System.
- 2.24 Meter size shall be as shown on the approved set of utility plans.
- 2.25 Service lines from the main and the water meters shall be installed in accordance with City of Loma Linda standards.
- 2.26 All water use for planned domestic, fire lines, and irrigation shall all be metered separately.
- 2.27 Improvement plans are to include all connections and locations to the City mains for on-site irrigation, including all meter and backflow prevention devices.
- 2.28 All relocation costs for affected utilities will be borne by the developer/property owner.
- 2.29 All sanitary sewers are to be designed to remove the domestic sewage to the existing public sewer mains located in the right-of-way.

3. FIRE DEPARTMENT

- 3.1 All construction shall meet the requirements of the editions of the California Building Code (CBC)/ Uniform Building Code (UBC) and the California Fire Code (CFC)/Uniform Fire Code (UFC) as adopted and amended by the City of Loma Linda and legally in effect at the time of issuance of building permit.
- 3.2 Pursuant to UFC Section 901.4.4, as amended in Loma Linda Municipal Code (LLMC) Section 15.28.150, building address numerals shall be a minimum of eight (8) inches, affixed to the buildings so as to be visible from the street or driveway, and electrically illuminated during the hours of darkness. Additional six (6) inch numerals shall be placed on a monument sign located at the front of the property.
- 3.3 Pursuant to UBC Section 904.2.2, as amended in LLMC Section 15.08.220, and UFC Section 1003.2.2.3, as amended in LLMC Section 15.28.250, all buildings shall be equipped with automatic fire sprinkler systems. Systems provided for the apartment buildings shall meet the requirements of National Fire Protection Association (NFPA) 13R. Systems provided for the garages and the recreation building shall meet the requirements of UBC Standard No. 9-1 (NFPA 13). Pursuant to UFC Section 1001.3, plans and specifications for the fire sprinkler systems shall be submitted to Fire Prevention for review and approval prior to installation.
- 3.4 Address(es) shall be as assigned by the Fire Marshal in a separate document, following approval of the project. Individual apartment units shall be numbered or lettered according to a plan submitted by the applicant and approved by the Fire Marshal.
- 3.5 Fire Station and Fire Equipment Development Impact Fees shall be assessed according to the rates legally in effect at the time of building permit issuance. Pursuant to LLMC Chapter 3.28, plan check and inspection fees shall be collected at the rates established by City Manager's Executive Order.
- 3.6 Pursuant to UFC Section 902.2.2.4, the project shall be designed to accommodate the turning around of fire apparatus (Truck 251).

4. FEES/PERMITS/BONDING

- 4.1 Within forty-eight (48) hours of approval of the subject project, the applicant shall deliver to the Community Development Department, check or money order made payable to the **COUNTY OF SAN BERNARDINO** in the amount of \$25.00 (*twenty five dollars*) to enable the City to file the appropriate environmental documentation for the project. If within such forty-eight (48) hour period that applicant has not delivered to the Community Development Department the

above-noted check, the statute of limitations for any interested party to challenge the environmental determination under the provisions of the California Environmental Quality Act could be significantly lengthened.

- 4.2 Pay appropriate fees for plan check, inspection, permits, GIS map plan update, microfilming and storage of maps and plans, and other required fees.
- 4.3 Development Impact fees for all units shall be paid in full to the City of Loma Linda prior to the issuance of the first permit.
- 4.4 Fire Station and Fire Equipment Development Impact Fees shall be assessed to the project at the rates established for Single-Family Residential development in the City's Resolution "Establishing A Schedule Of Development Impact Fees To Finance Capital Facilities Necessitated By New Development" legally in effect at the time of issuance of building permit. Pursuant to LLMC Chapter 3.28, plan check and inspection fees shall be collected at the rates established by City Manager's Executive Order.
- 4.5 Submit proof of payment from the City of San Bernardino for sewer capacity fees and Redlands Unified School District to the Community Development Department prior to the issuance of any building permits.

5. OPERATIONS

- 5.1 The property owner shall be responsible for the operation, management, use, repair and maintenance of all common areas and facilities including recreational facilities, parks, landscaped areas and lots, trails, pathways, walls and wrought iron fences.
- 5.2 All landscaping shall be properly maintained such that they are evenly cut, evenly edged, free of bare or brown spots, free of debris and free of weeds above the level of the lawn. All planted areas other than lawns shall be free of weeds, dead vegetation and debris. All trees and shrubs shall be trimmed so they do not impede pedestrian traffic along the walkways. All trees shall also be root pruned to eliminate exposed surface roots and damage to sidewalks, driveways and structures.
- 5.3 Common areas shall be maintained in such a manner as to avoid the reasonable determination of a duly authorized official of the City that a public nuisance has been created by the absence of adequate maintenance such as to be detrimental to public health, safety or general welfare, or that such a condition of deterioration or disrepair cause harm or is materially detrimental to property values or improvements within the surrounding area.
- 5.4 Residents shall not store or park any non-motorized vehicles, trailers regardless of length, or motorized vehicles that exceed 7 feet high, 7 feet wide or 20 feet

long in any parking or driveway area except for purpose of loading, unloading, making deliveries or emergency repairs.

- 5.5 Storage of personal items may occur in the garages only to the extent that vehicles may still be able to be parked within the required garage spaces. Outside storage of personal items shall not be permitted.

End of Conditions

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Attachment C

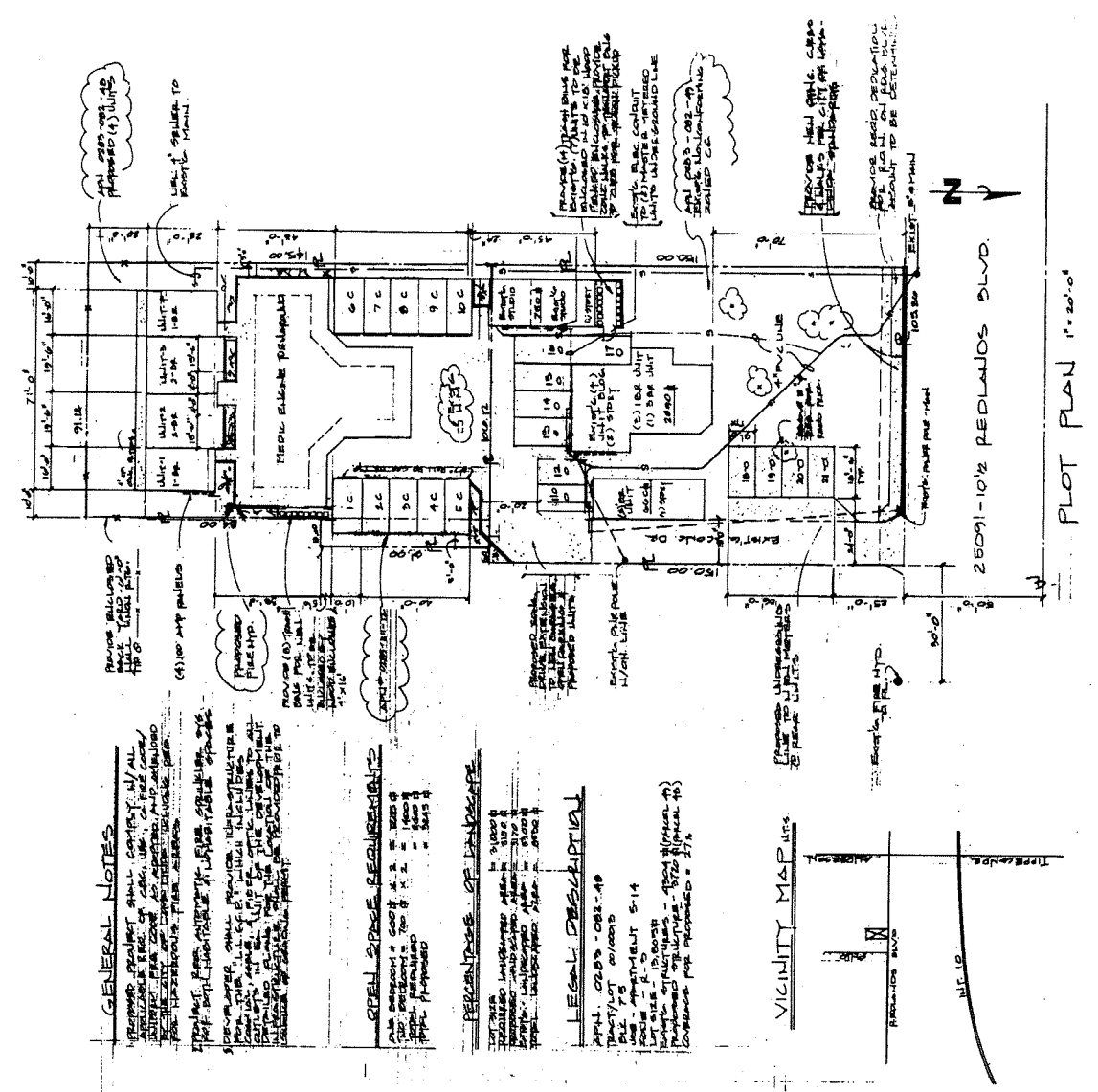
Project Plans
CUP 05-02

March 1, 2006

AL ALVARADO
28091 REDLANDS BLVD
LOMBARD CA 92354

DATE	1-17-65
SCALE	1" = 20'-0"
SHEET	1

PROPOSED (4) UNIT EXPANSION TO EXIST'G (7) UNIT COMPLEX FOR:



GENERAL NOTES

1. EXISTING BUILDING SHALL BE REMOVED AND REPLACED BY NEW BUILDING. ALL EXISTING UTILITIES SHALL BE MAINTAINED AND PROTECTED. ALL NEW UTILITIES SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA ELECTRICAL CODE, CALIFORNIA MECHANICAL CODE, AND CALIFORNIA PLUMBING CODE. ALL NEW UTILITIES SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA ELECTRICAL CODE, CALIFORNIA MECHANICAL CODE, AND CALIFORNIA PLUMBING CODE.

OPEN SPACE REQUIREMENTS

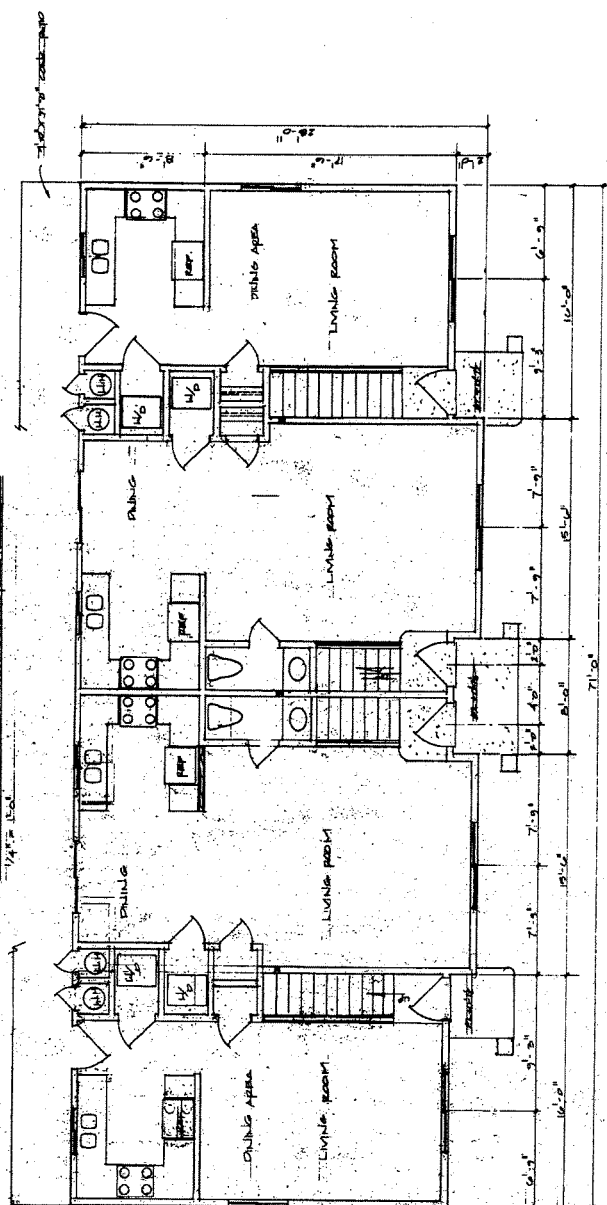
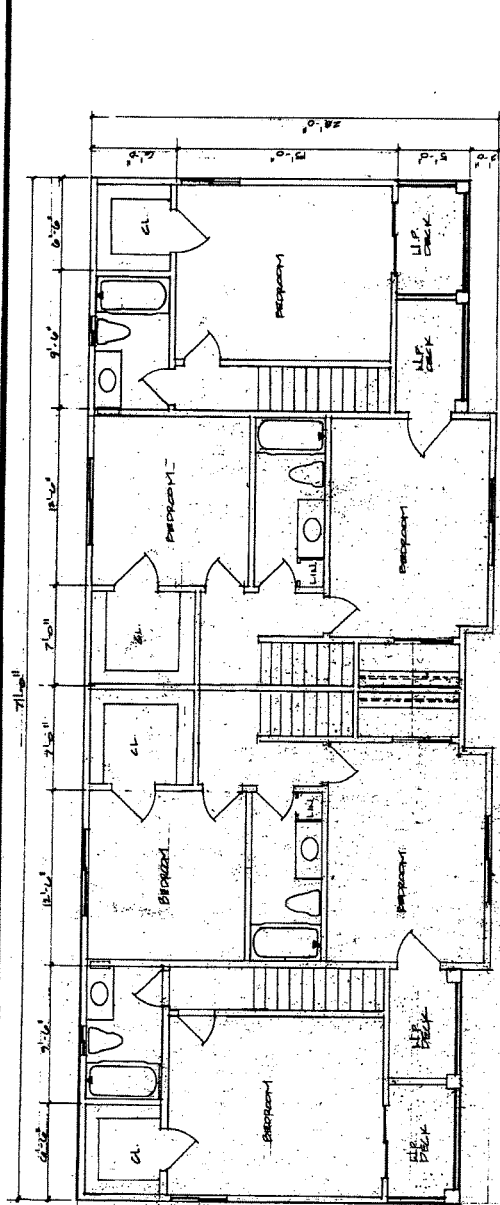
ALL BUILDINGS SHALL BE SET BACK FROM THE FRONT YARD LINE BY A MINIMUM OF 10 FEET. ALL BUILDINGS SHALL BE SET BACK FROM THE SIDE YARD LINE BY A MINIMUM OF 5 FEET. ALL BUILDINGS SHALL BE SET BACK FROM THE REAR YARD LINE BY A MINIMUM OF 10 FEET.

PERCENTAGE OF LANDSCAPE

ALL LANDSCAPING SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA LANDSCAPE ARCHITECTURE CODE. ALL LANDSCAPING SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA LANDSCAPE ARCHITECTURE CODE.

LEGAL DESCRIPTION

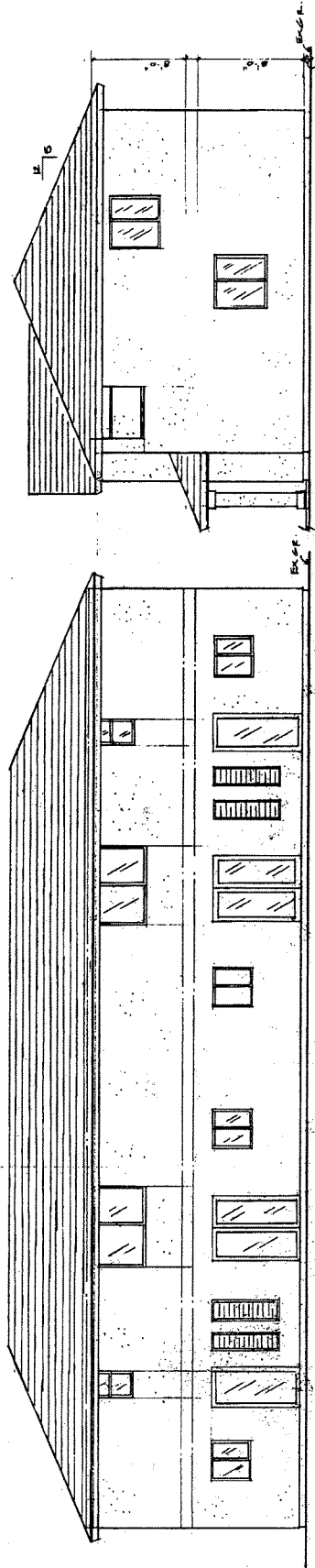
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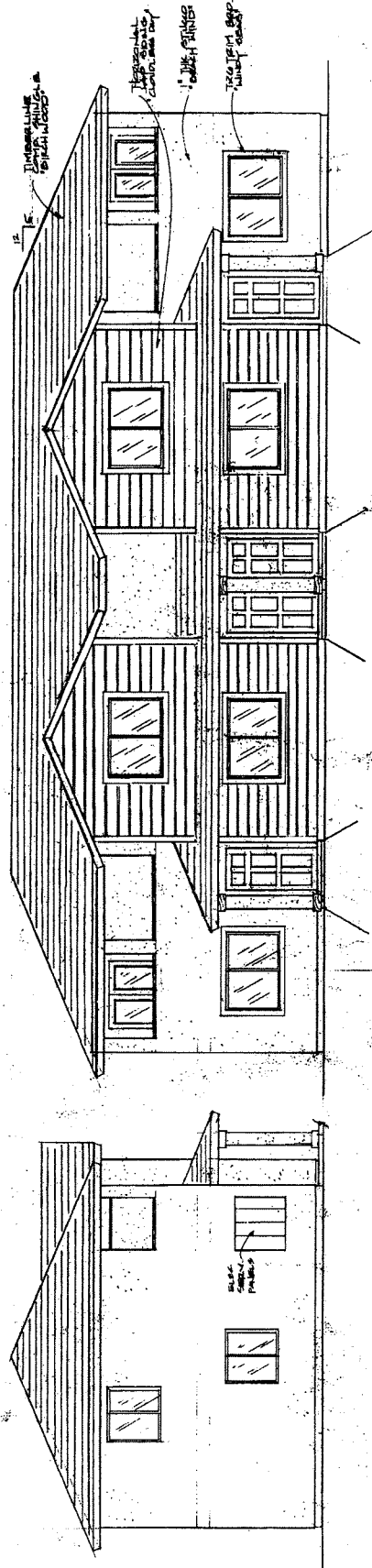
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REAR ELEVATION
1/4" = 1'-0"



FRONT ELEVATION
1/4" = 1'-0"

LEFT SIDE ELEVATION
1/4" = 1'-0"

RIGHT SIDE ELEVATION
1/4" = 1'-0"

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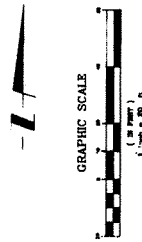
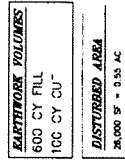
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CONSTRUCTION NOTES		REV	QUANTITY	UNITS
1	50# CFT 140 BUCKING CEMENT CUM & DUTTER		10	CU
2	CONCRETE CUR APPROXIMATE FOR CFT STD 8-11		40	CU
3	CONCRETE CUM & BUCKING FOR CFT STD 8-11		150	CU
4	CONCRETE 3/4" AS OVER CONNECTED MISC SIZE		6000	LB
5	CONCRETE 3/4" ALLY RUTTER FOR CFT STD 8-11		2000	LB
6	CONCRETE CUM ONLY FOR CFT STD 8-11		140	CU
7	NOTE TO BE REDUCED BY DIMERS		1	CU



PTX. LOT 14, BLK.73, WB 7/2
APR 283-082-48 & 49 AND APR 283-111-12
REDLANDS BLVD., LOMA LINDA CA

SURVEYOR'S NOTES

1. ● DENOTES FOUND MONUMENT AS NOTED
2. ALL DATA IS RECORDED & MEASURED PER MB 7/2
3. CONTOUR INTERVAL IS 1 FOOT
4. BENCHMARK IS @ NE COR LOT 13 ASSUMED ELEV= 96.0 FEET, SEE DRAWINGS

LEGEND:

- | | | |
|--------|---|---------------------|
| A/G | - | ORBITWAY |
| PP | - | POWER POLE |
| WV | - | WATER METER |
| SDHWH | - | STORM DRAIN MANHOLE |
| B.M. | - | BENCHMARK |
| 1" P | - | IRON PIPE |
| N.T.S. | - | NOT TO SCALE |

BLACKSTONE ENGINEERS
LAND DEVELOPMENT, GRADING, DRAINAGE
4505 ALLSTATE DR. SUITE 5
RIVERSIDE, CA 92501
Phone: (951) 222-2110 - Fax: (951) 222-2110
BLACKSTONEENGINEERING@SBCGLOBAL.NET

PRECISE GRADING PLAN

25091-10 1/2 REDLANDS BLVD

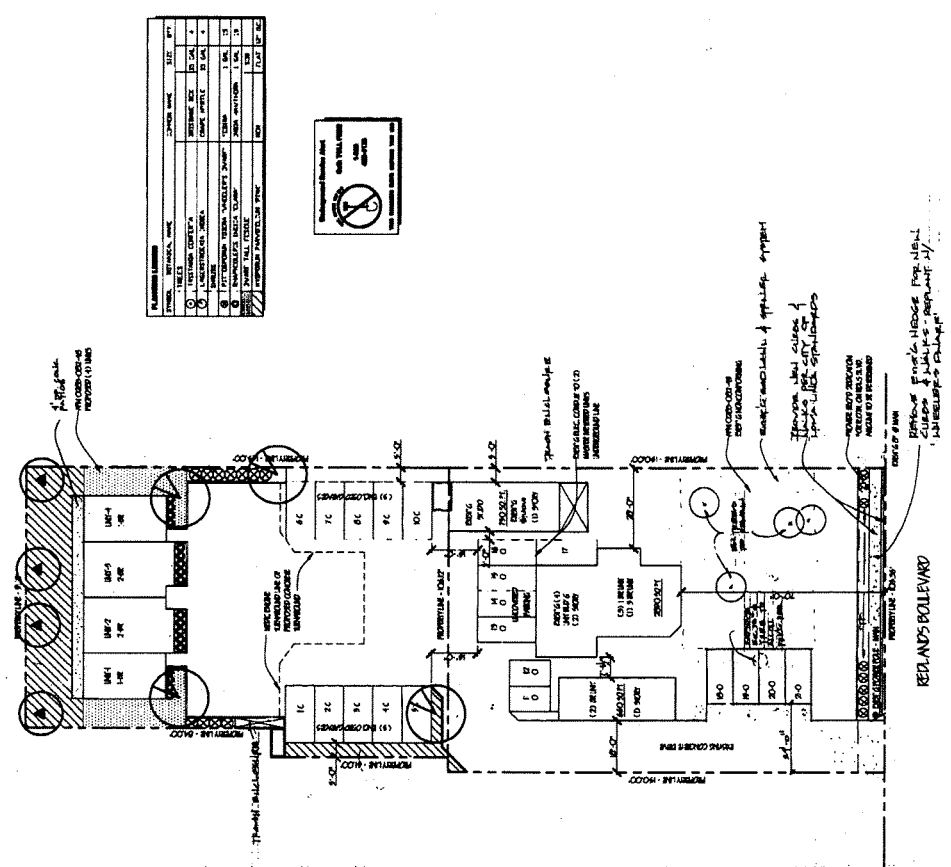
AL ALVARADO
 25001 REDLANDS BLVD
 LOMA LINDA, CALIFORNIA 92354

PLANTING PLAN

DATE	REVISION	APPROVED

DRAWN: LITA A. SOJINIAN
 CHECKED: LITA A. SOJINIAN
 DATE: 10/23/2004

DYNAMIC DESIGN
 SYSTEMS
 11390 DOWNEY AVE
 LOMA LINDA, CALIFORNIA 92354
 (909) 498-9917



NO.	DATE	DESCRIPTION
1	10/23/2004	PRELIMINARY PLAN
2	10/23/2004	FINAL PLAN
3	10/23/2004	FINAL PLAN
4	10/23/2004	FINAL PLAN
5	10/23/2004	FINAL PLAN
6	10/23/2004	FINAL PLAN
7	10/23/2004	FINAL PLAN
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